

PROPERTY LOCATION

No	Alt No	Direction/Street/City
10		RAMSDELL CT, ARLINGTON

OWNERSHIP

Owner 1:	JACOBSON ERIC			
Owner 2:				
Owner 3:				
Street 1:	10 RAMSDELL COURT			
Street 2:				
Twn/City:	ARLINGTON			
St/Prov:	MA	Cntry		Own Occ: Y
Postal:	02476		Type:	

PREVIOUS OWNER

Owner 1:			
Owner 2:			
Street 1:			
Twn/City:			
St/Prov:	Cntry		
Postal:			

NARRATIVE DESCRIPTION

This parcel contains .086 Sq. Ft. of land mainly classified as Two Family with a Multi-Conver Building built about 1930, having primarily Clapboard Exterior and 2312 Square Feet, with 2 Units, 2 Baths, 0 3/4 Bath, 0 HalfBath, 10 Rooms, and 4 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	B3	VILLAGE B	100	water		
o				Sewer		
n				Electri		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

[illegible]

Total AC/HA:	0.08629	Total SF/SM:	3759	Parcel LUC:	104	Two Family	Prime NB Desc	ARLINGTON	Total:	372,939	Spl Credit	Total:	372,900
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Disclaimer: This Information is believed to be correct but is subject to change and is not warranted.

Database: AssessPro - ArchiveProArling

apro

2023

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
104	3759.000	396,200		372,900	769,100
Total Card	0.086	396,200		372,900	769,100
Total Parcel	0.086	396,200		372,900	769,100
Source: Market Adj Cost		Total Value per SQ unit /Card:		332.73	/Parcel: 332.73

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2022	104	FV	396,200	0	3,759.	372,900	769,100		Year end	12/23/2021
2021	104	FV	377,000	0	3,759.	372,900	749,900		Year End Roll	12/10/2020
2020	104	FV	377,000	0	3,759.	372,900	749,900	749,900	Year End Roll	12/18/2019
2019	104	FV	307,600	0	3,759.	372,900	680,500	680,500	Year End Roll	1/3/2019
2018	104	FV	307,600	0	3,759.	250,400	558,000	558,000	Year End Roll	12/20/2017
2017	104	FV	288,000	0	3,759.	239,700	527,700	527,700	Year End Roll	1/3/2017
2016	104	FV	288,000	0	3,759.	218,400	506,400	506,400	Year End	1/4/2016
2015	104	FV	239,200	0	3,759.	175,800	415,000	415,000	Year End Roll	12/11/2014

SALES INFORMATION

[illegible]

BUILDING PERMITS

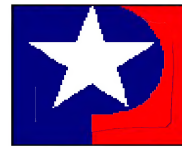
[illegible]

ACTIVITY INFORMATION

Date	Result	By	Name
11/1/2018	MEAS&NOTICE	HS	Hanne S
2/6/2009	Meas/Inspect	189	PATRIOT
1/5/2000	Meas/Inspect	277	PATRIOT
7/29/1993		RV	

Sign: _____

VERIFICATION OF VISIT NOT DATA ____/____/____



Patriot
Properties Inc.

USER DEFINED

Prior Id # 1:	35777
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
ASR Map:	
Fact Dist:	
Reval Dist:	
Year:	
LandReason:	
BldReason:	
CivilDistrict:	
Ratio:	

